

PROPOSED 176-182 BROADWAY RESIDENCES SOMERVILLE, MA

DESIGN REVIEW COMMITTEE SUBMISSION 10-24-2013

CLIENT
KEN YIHE C/O ATTORNEY
RICHARD DIGIROLAMO
424 BROADWAY
SOMERVILLE, MA 02145

ARCHITECT
KHALSA DESIGN INC.

17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
T:(617)-591-8682

LANDSCAPE ARCHITECTS
Blair Hines Design Associates, LLC
318 Harvard Street suite 25
Brookline, MA 02446
T: 617-735-1180

F: 617-608-5025

CIVIL ENGINEER

DESIGN CONSULTANTS, INC.

120 MIDDLESEX AVE, SUITE 20

SOMERVILLE, MA 02145

T: 617-776-3350

Sheet Number	Sheet Name	Sheet Issue Date
A-000	Cover Sheet	10/02/13
Z-0	EXISTING CONDITIONS	10/02/13
A-001	Site Plan & Locus	10/02/13
A-100	Basement & 1st Floor Plan	10/02/13
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A-300	Building Elevations	10/02/13
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L-1	LANDSCAPE MATERIALS BOARD	10/02/13
L-2	LANDSCAPE MATERIALS BOARD	10/03/13

Sheet List

PROJECT NAME

Broadway St Residences

PROJECT ADDRESS

176-182 Broadway Somerville, MA

CLIENT

YIHE GROUP

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION

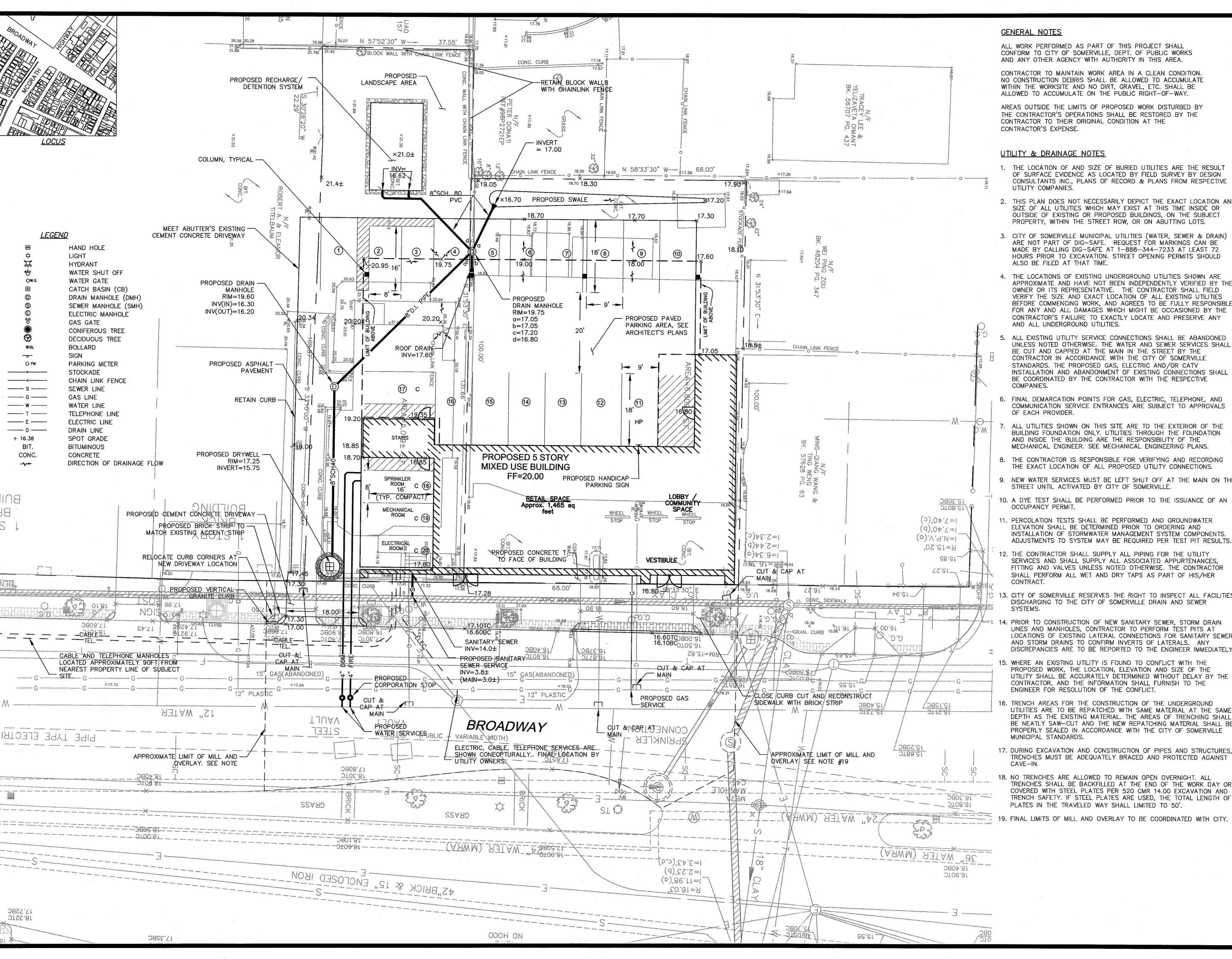


Project number			13004
Date			10-24-13
Drawn by			МТ
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Scale		3/1	6" = 1'-0'
REVISION	ONS		
No.	Description		Date

Cover Sheet

A-000

Broadway St Residences

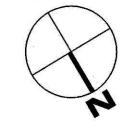


ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO CITY OF SOMERVILLE, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE

- 1. THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD & PLANS FROM RESPECTIVE
- 2. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
- 3. CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER & DRAIN) ARE NOT PART OF DIG-SAFE. REQUEST FOR MARKINGS CAN BE MADE BY CALLING DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO EXCAVATION. STREET OPENING PERMITS SHOULD ALSO BE FILED AT THAT TIME.
- 4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. THE WATER AND SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN IN THE STREET BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF SOMERVILLE STANDARDS. THE PROPOSED GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE
- FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS
- ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
- 9. NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY CITY OF SOMERVILLE.
- 10. A DYE TEST SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF AN
- 11. PERCOLATION TESTS SHALL BE PERFORMED AND GROUNDWATER ELEVATION SHALL BE DETERMINED PRIOR TO ORDERING AND INSTALLATION OF STORMWATER MANAGEMENT SYSTEM COMPONENTS.
- 12. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER
- 13. CITY OF SOMERVILLE RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE CITY OF SOMERVILLE DRAIN AND SEWER
- PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER, STORM DRAIN LINES AND MANHOLES, CONTRACTOR TO PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL FURNISH TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 16. TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW REPATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF SOMERVILLE
- 17. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES. TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST
- 18. NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.
- 19. FINAL LIMITS OF MILL AND OVERLAY TO BE COORDINATED WITH CITY.



Design Consultants, Inc CIVIL ENGINEERS and LAND SURVEYORS 120 Middlesex Avenue, Şuite 20 Somerville, MA 02145 617-776-3350p 617-776-7710f

ARCHITECT: KHALSA DESIGN INC. 17 IVALOO STREET **SOMERVILLE, MA 02143**

CLIENT: YIHE REAL **ESTATEHOLDINGS LIMITED** C/O RICH DIGIROLAMO **424BROADWAY SOMERVILLE, MA 02145**

PROJECT TEAM

BROADWAY RESIDENCES

176 & 182 **BROADWAY** SOMERVILLE, MA

PROJECT INFO

REV DESCRIPTION



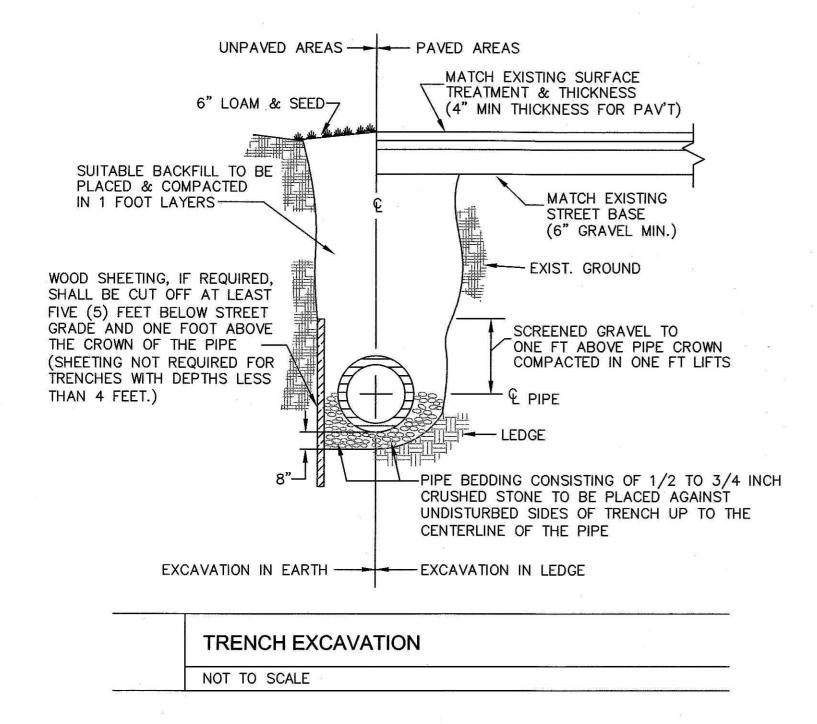
SITE, UTILITY & GRADING **PLAN**

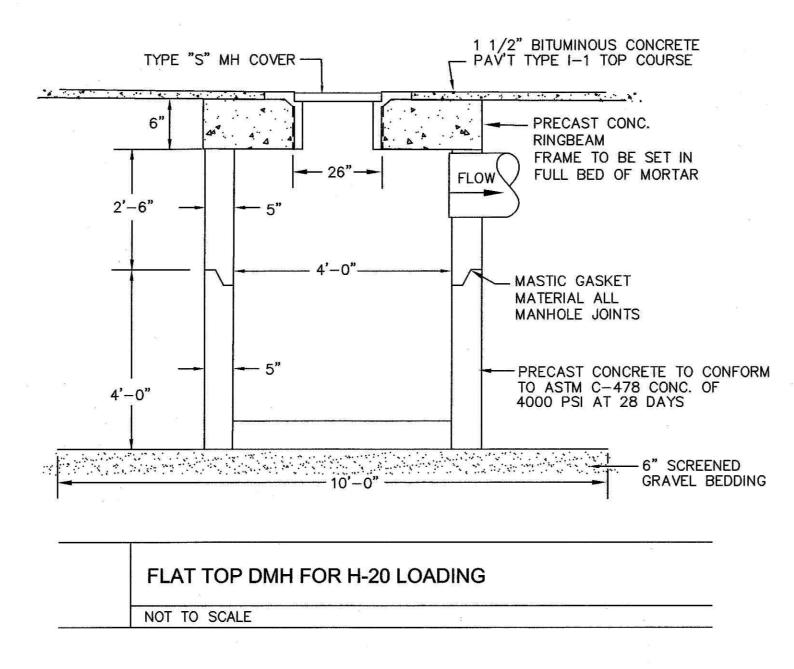
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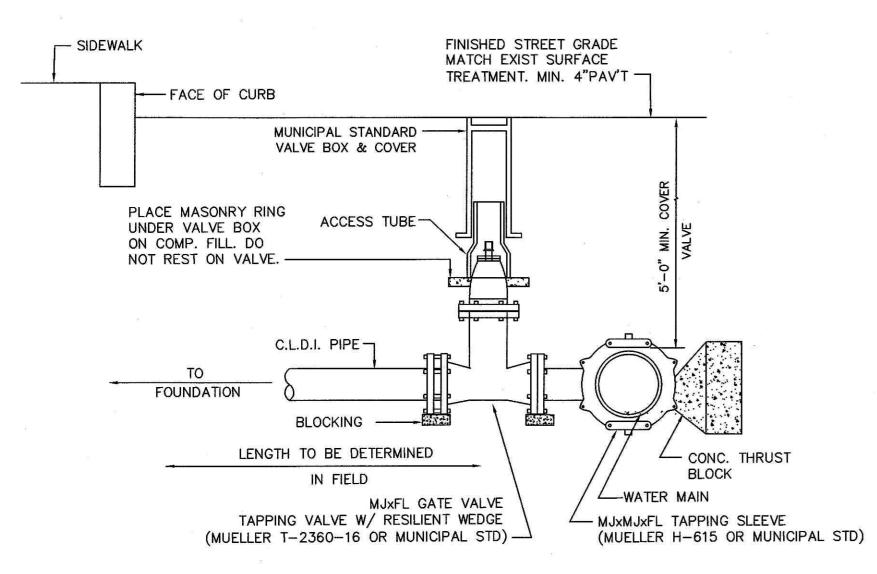
SHEET NAME:

DR BY: RLB CHK BY: SBS PROJ NO: 2012-125 DATE: OCTOBER 17, 2013

SCALE: 1" = 20'







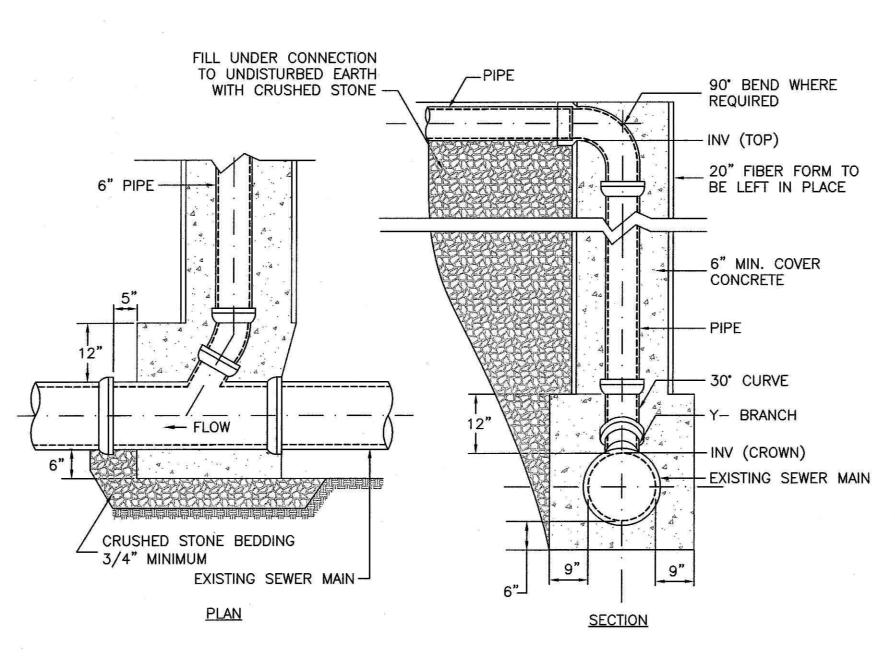
NOTE: 1. ALL WATER DISTRIBUTION VALVES, FITTINGS, AND PIPING SHALL

COMPLY WITH ALL MUNICIPAL STANDARDS.

2. DETAIL UTILIZED FOR 4, 6, OR 8 INCH SERVICE PIPE.

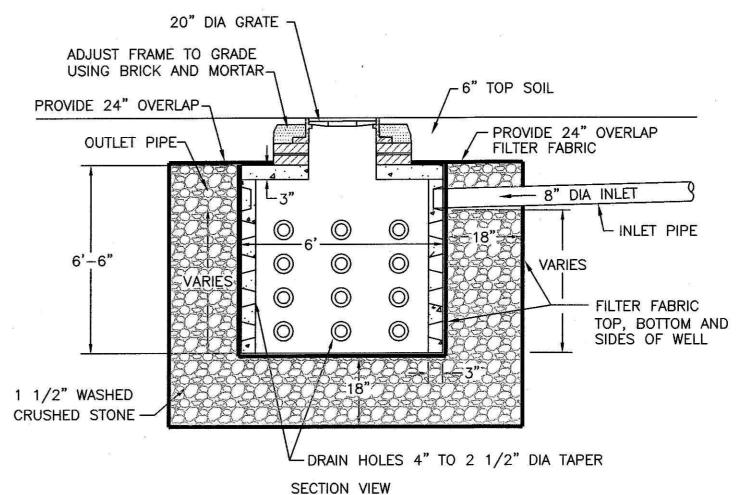
WATER CONNECTION WITH WET TAP FOR 4 & 6 INCH SERVICE PIPE

NOT TO SCALE



1. SEE SHEET 1 FOR SERVICE CONNECTION SIZES

SEWER/STORMWATER SERVICE CHIMNEY CONNECTION NOT TO SCALE



NOTES:

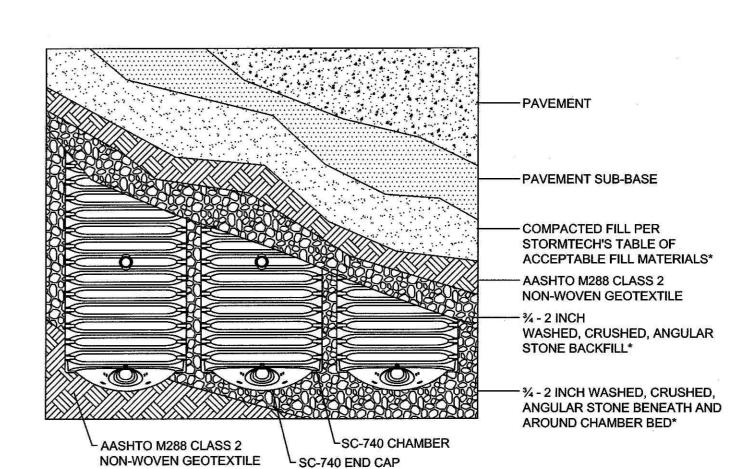
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.

USE H-20 LOADING.

CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.

PRECAST CONCRETE LEACHING DRY WELL (H-20 LOADING)

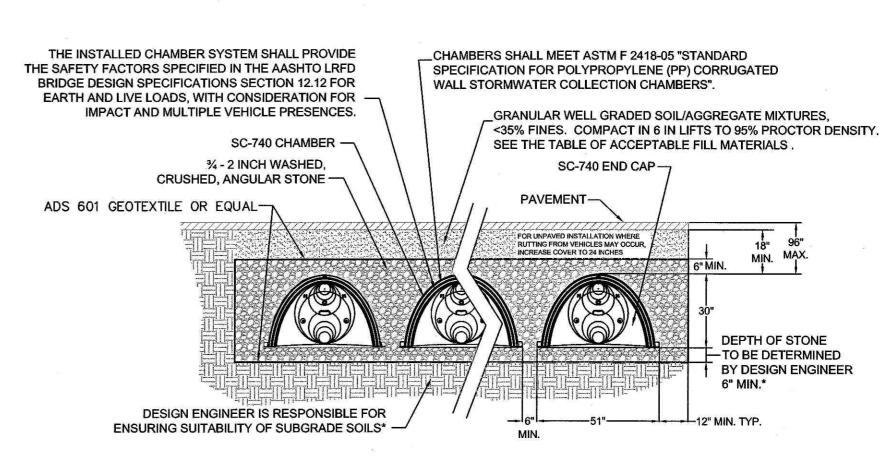
NOT TO SCALE



STORMTECH SC-740 CHAMBER SYSTEM PLAN VIEW DETAIL NOT TO SCALE

FOR STORMTECH INFORMATION CALL 1-888-892-2694

* SEE STORMTECH'S DESIGN MANUAL



THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE SAFETY FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS

INFILTRATION/DETENTION SYSTEM

NOT TO SCALE

NORTH

Design Consultants, 120 Middlesex Avenue, Suite 20 Somerville, MA 02145 617-776-3350p 617-776-7710f

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176 & 182 **BROADWAY** SOMERVILLE, MA

PROJECT INFO REV | DESCRIPTION



DETAILS

PERMIT SET

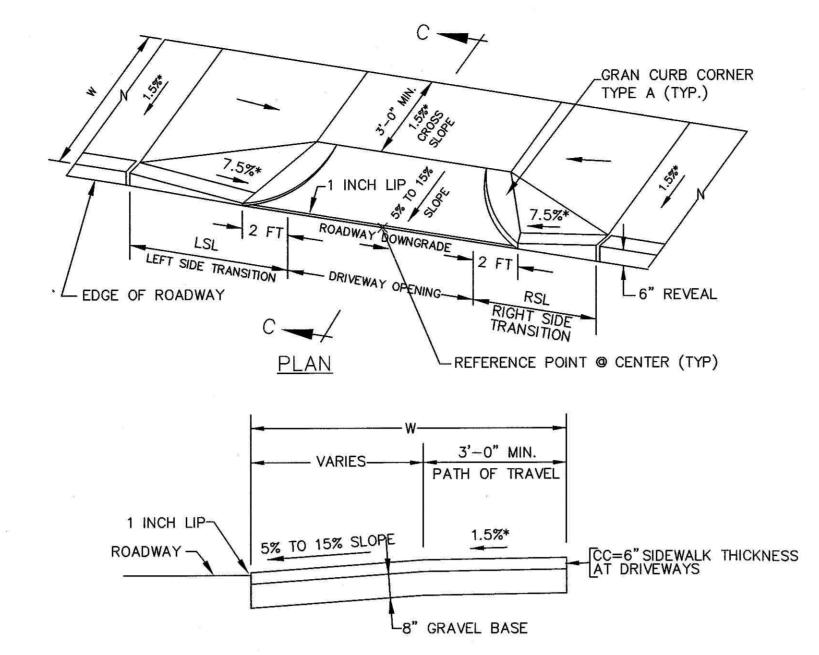
SHEET NAME:

DR BY: RLB

CHK BY: SBS PROJ NO: 2012-125

DATE: OCTOBER 17, 2013

SCALE: 1" = 20'



LEGEND: SECTION C-C

LSL = LEFT SIDE FRONT TRANSITION LENGTH
RSL = RIGHT SIDE FRONT TRANSITION LENGTH

W = SIDEWALK WIDTH
* = TOLERANCE FOR CONSTRUCTION ±0.5%

SIDEWALK THROUGH DRIVEWAYS WITH CURB RETURNS 2 FT CURB CORNERS

NOT TO SCALE

PROP. 4" CEM CONC SIDEWALK W/ ALTERNATE PANEL BROOM FINISH (TYP) AIR ENTRAINED 4,000 psi, 34", 610 lbs (SIDEWALK MIX) PROP 8" GRAVEL BORROW OR RETAIN EXIST. GRAVEL BASE— SAND SWEEP JOINTS -EXISTING BUILDING / STRUCTURE (TYP) PROP. CONCRETE PAVER EDGE TREATMENT (2 FT WIDE, VARIES AT CURB EXTENSIONS) (PAVER AT 2 %" THICK) MATCH PAVER AND PATTERN OF EXISTING EDGE TREATMENT SPACE BETWEEN STRUCTURE AND BACK OF THE SIDEWALK (0.5" WIDE X 2" DEEP) FILL WITH HOT POURED JOINT SEALER (TYP) BITUMINOUS SETTING BED -RESET EXIST. CURB OR PROP. GRANITE CURB _CROSS SLOPE TYPE VA4- 6" REVEAL (TYP) ----SAWCUT — 3" OF HOT MIX ASPHALT PROP. 4" CEM CONC 2 COURSES 2" HMA---0.5"ø BACKER ROD (TYP) 3,000 PSI _RETAIN EXISTING GRAVEL OR REPLACE AS DIRECTED CEMENT CONCRETE ——

ROAD PAVEMENT AND SIDEWALK CONSTRUCTION

NOT TO SCALE

PROP. /EXIST. GRANITE CURB

6" REVEAL (TYP.)

BEYOND
TRENCH
LIMIT

CONC. W/ SAME

PROP. SAWCUT
SEAL W/ IR

EXIST. PAVEMENT

CEMENT CONCRETE
(CLASS "D" 4000 PSI)

PROP. /EXIST. GRANITE CURB
6" REVEAL (TYP.)

SEAL ALL JOINTS AS PER
MUNICIPAL STDS.

CEM. CONC. SIDEWALK

1.5% CROSS SLOPE

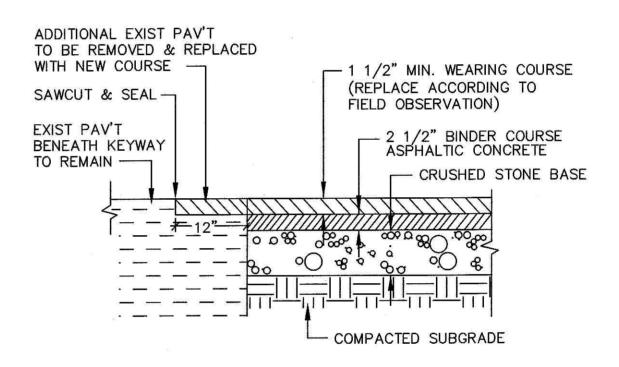
6"
6"

A"
1.5% CROSS SLOPE

3/4" CRUSHED STONE BASE

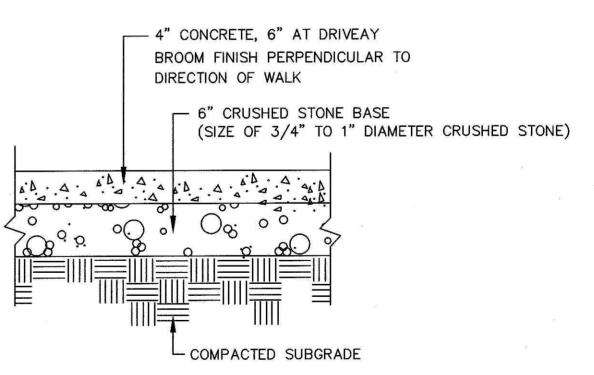
GRANITE CURB IN EXISTING ROAD PAVEMENT W/ NEW SIDEWALK

NOT TO SCALE



OLD TO NEW PAVING TECHNIQUE

NOT TO SCALE



NOTES:

- PROVIDE ½" CONSTRUCTION CONTROL JOINT WITH PREFORMED EXPANSION MATERIAL EVERY 10'-0" O.C. MAX.
- 2. PROVIDE A TOOLED DUMMY JOINT 14"W x 1/2"D AS NEEDED TO PROVIDE SYMMETRY.

NOT TO SCALE

NORTH



ARCHITECT:
KHALSA DESIGN INC.
17 IVALOO STREET
SOMERVILLE, MA 02143

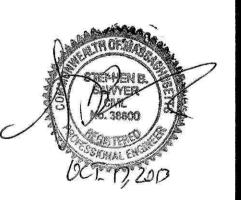
CLIENT:
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ESTATEHOLDINGS LIMITED
C/O RICH DIGIROLAMO
424BROADWAY
SOMERVILLE, MA 02145

PROJECT TEAM

BROADWAY RESIDENCES

176 & 182 BROADWAY SOMERVILLE, MA

PROJECT INFO



STAMP:

REV DESCRIPTION

DETAILS

PERMIT SET

SHEET NAME:

C3

SHT NO:

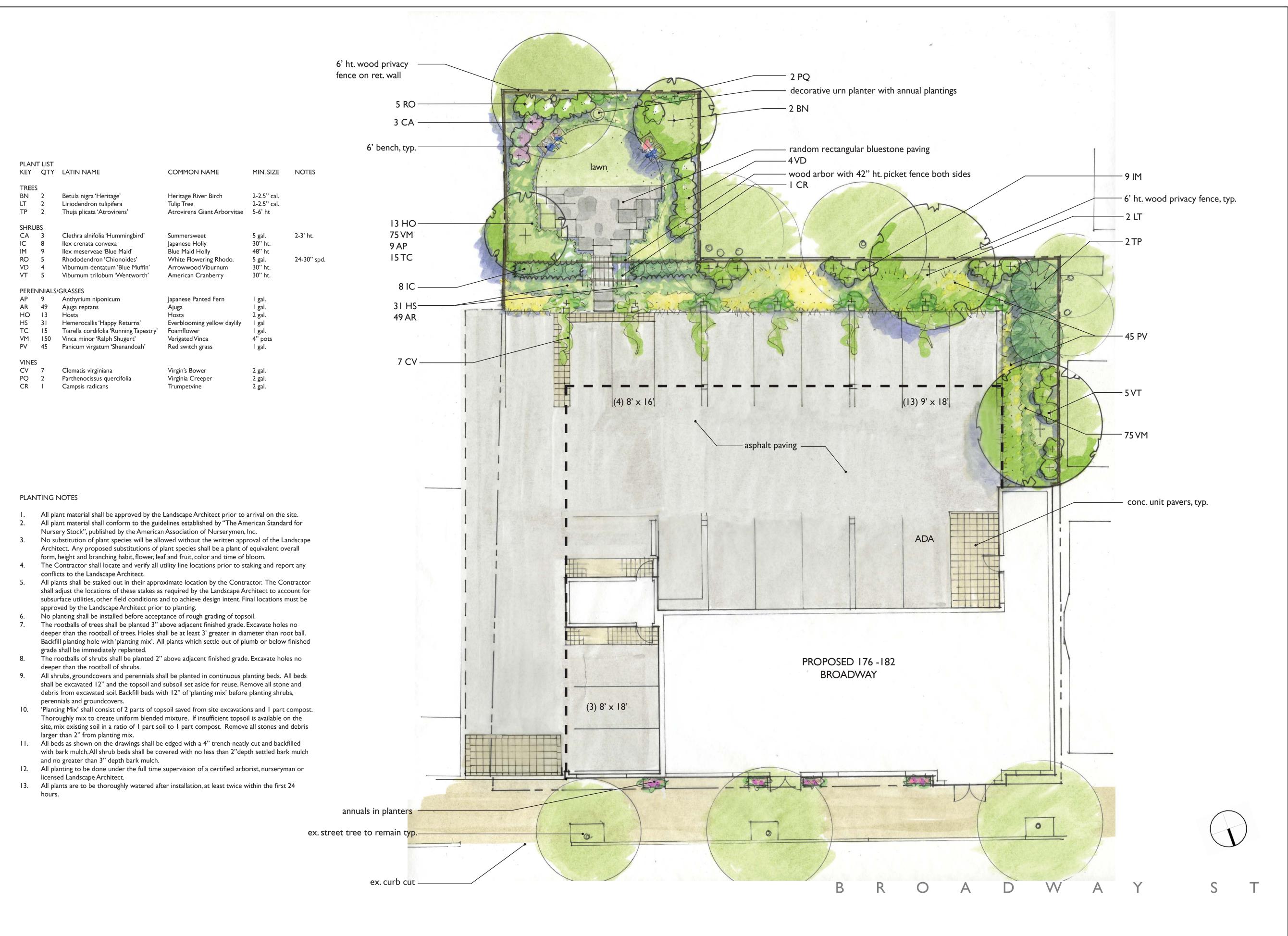
DR BY: RLB

CHK BY: SBS

PROJ NO: 2012-125

DATE: OCTOBER 17, 2013

SCALE: 1" = 20'



PROJECT NAME

176-182

BROADWAY PROJECT ADDRESS

176-182 BROADWAY SOMERVILLE, MA

CLIENT

Ken Yihe

ARCHITECT

KHALSA DESIGN INC.

17 IVALOO STREET, SUITE 400 SOMERVILLE, MA 02143 TELEPHONE 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

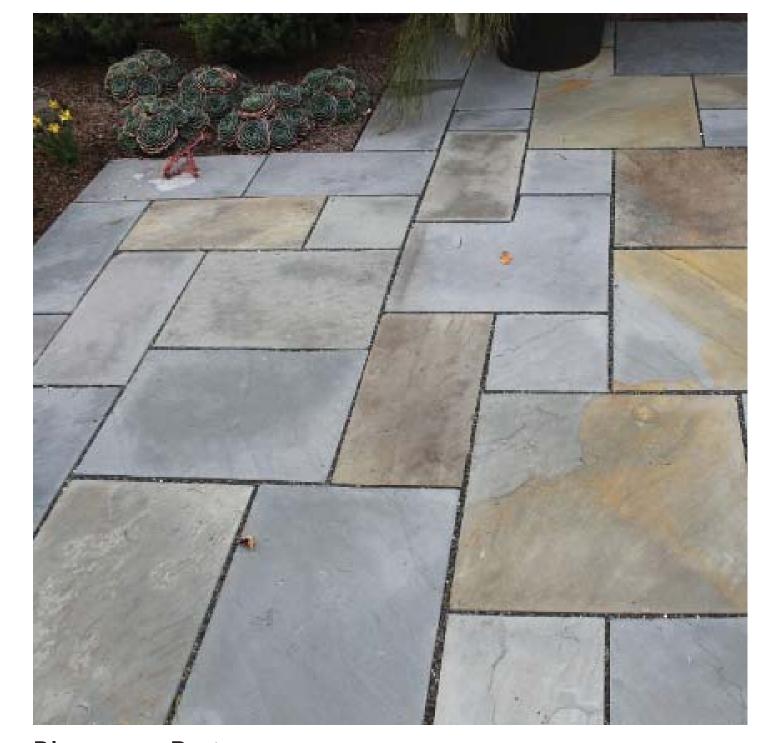
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REGISTRATION

Project number 13001
Date 10-03-2013
Drawn by MKP
Checked by BH
Scale 1/8"=1'-0"
REVISIONS

No. Description Date

LANDSCAPE
PLAN



Bluestone Paving



Concrete Unit Pavers



Metal Bench from Dumor



Garden Urn



Bench from Landscapeforms



Planters from Wilshire

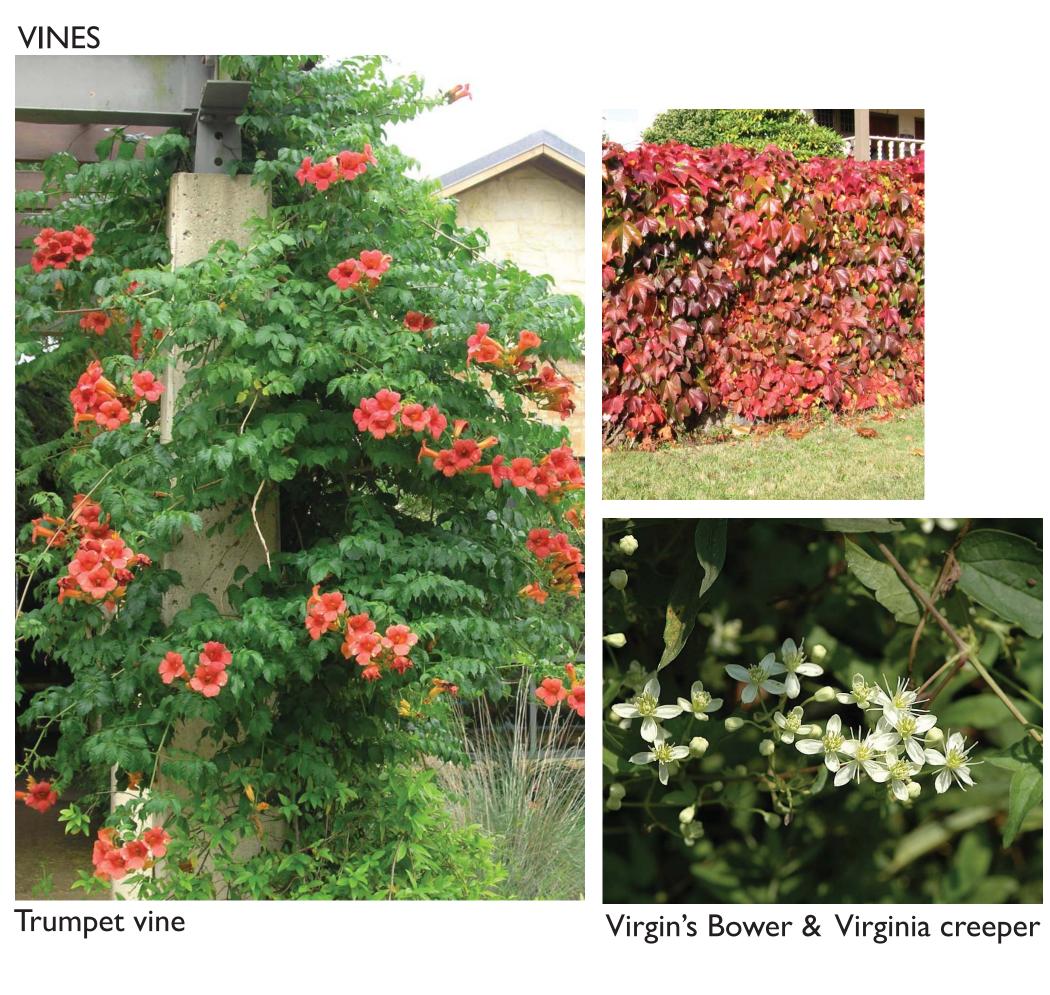


Arbor with Fence









GRASSES & PERENNIALS





Everblooming Daylily



182 Broadway, Somerville, MA Materials Board



17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

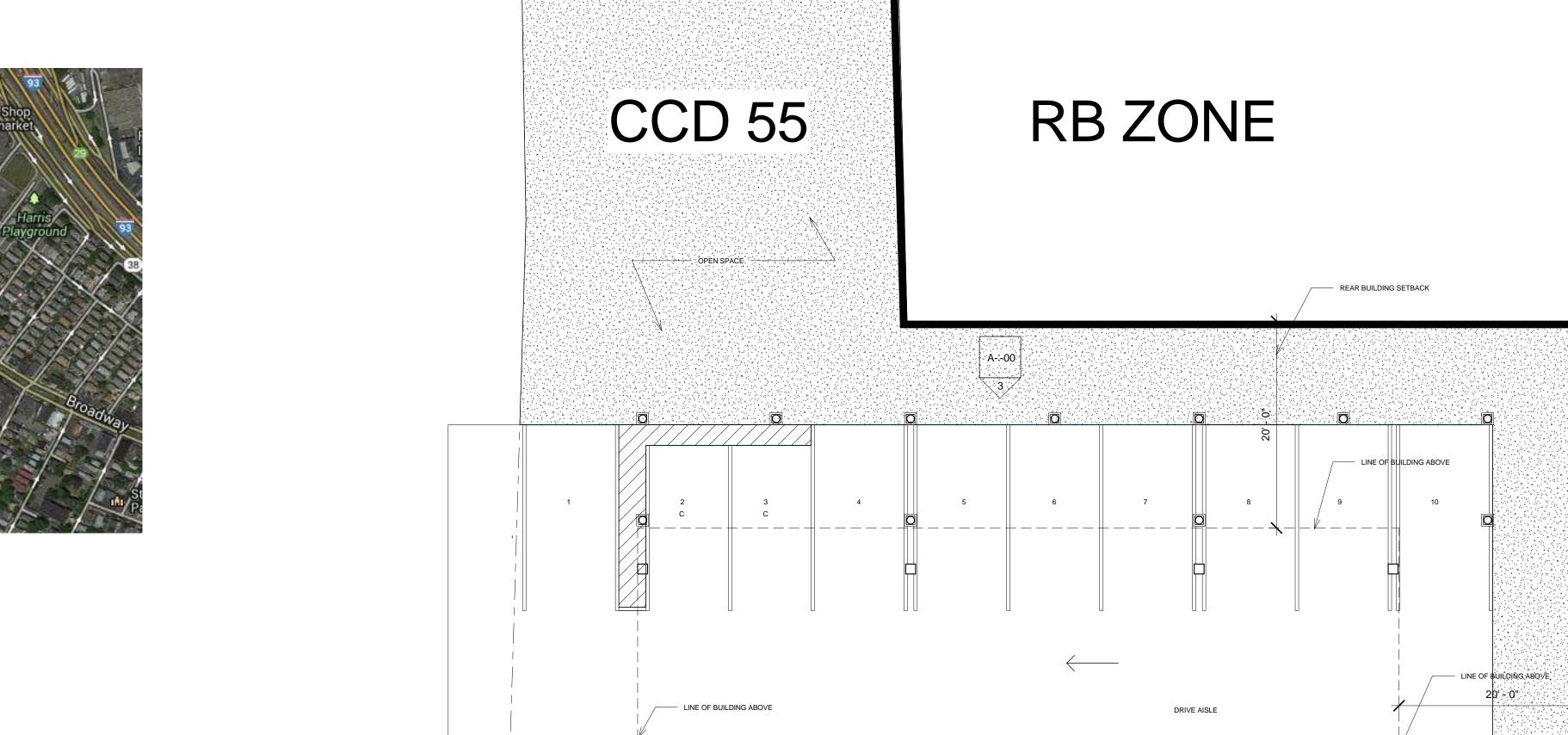
CONSULTANTS:



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REVISI	ONS		
No.	Description		Date

Site Plan & Locus

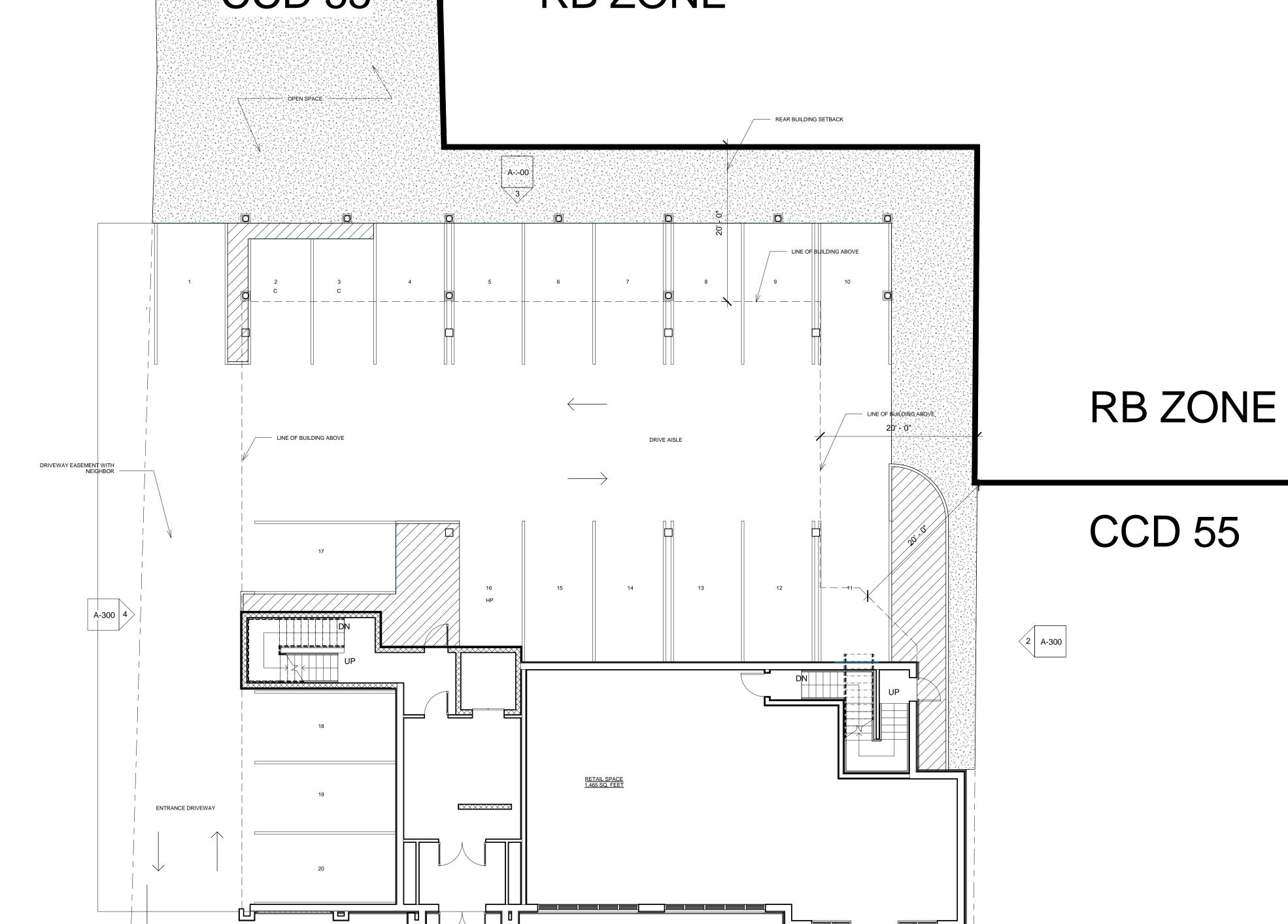
A-001 Broadway St Residences



ZONING CHART

LOCUS MAP

ZONING ASPECT			
		ALLOWED:	PROVIDED:
ZONE CCD 55			
LOT SIZE 11,778 +/- SQ. FT		MINIMUM 7,500 SQ. FT	
MINIMUM LOT PER DWELLING U	INIT	1-9 UNITS @ 600 SF/DU = 19.63 DW ALLOWED	19 DWELLING UNITS
MAXIMUM GROUND COVERAGE		80% x 11,778 SF = 9,422 SF	7,018 SF, 59% PROVIDED
LANDSCAPE AREA		10% x 11,778 SF = 1,178 SF	2,598 SF, 22% PROVIDED
FAR		11,778 x 3.0 = 35,334 SF	25,578 SF
HEIGHT [20,21]		55 FEET	5 STORIES @ 55 FEET HEIGHT
SETBACKS			
	FRONT	N/A	NONE
	SIDE [12]	N/A	NONE
	REAR	N/A	20 FEET
PARKING			
		1/ DU- LOFT	
		1.5/ DU- 1, 2-BR	
		2/ DU- 3-BR	
		1 PER 6DU - VISITOR PARKING	
		1 PER RETAIL LESS THAN 1,500 SQ FT	
		19-2BR x 1.0 = 19 PARKING SPACES + 1 RETAIL = 20 PARKING SPACES	20 PARKING SPACES



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ARCHITECT

Broadway St Residences

176-182 Broadway

Somerville, MA

YIHE GROUP

KHALSA DESIGN INC.

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2086

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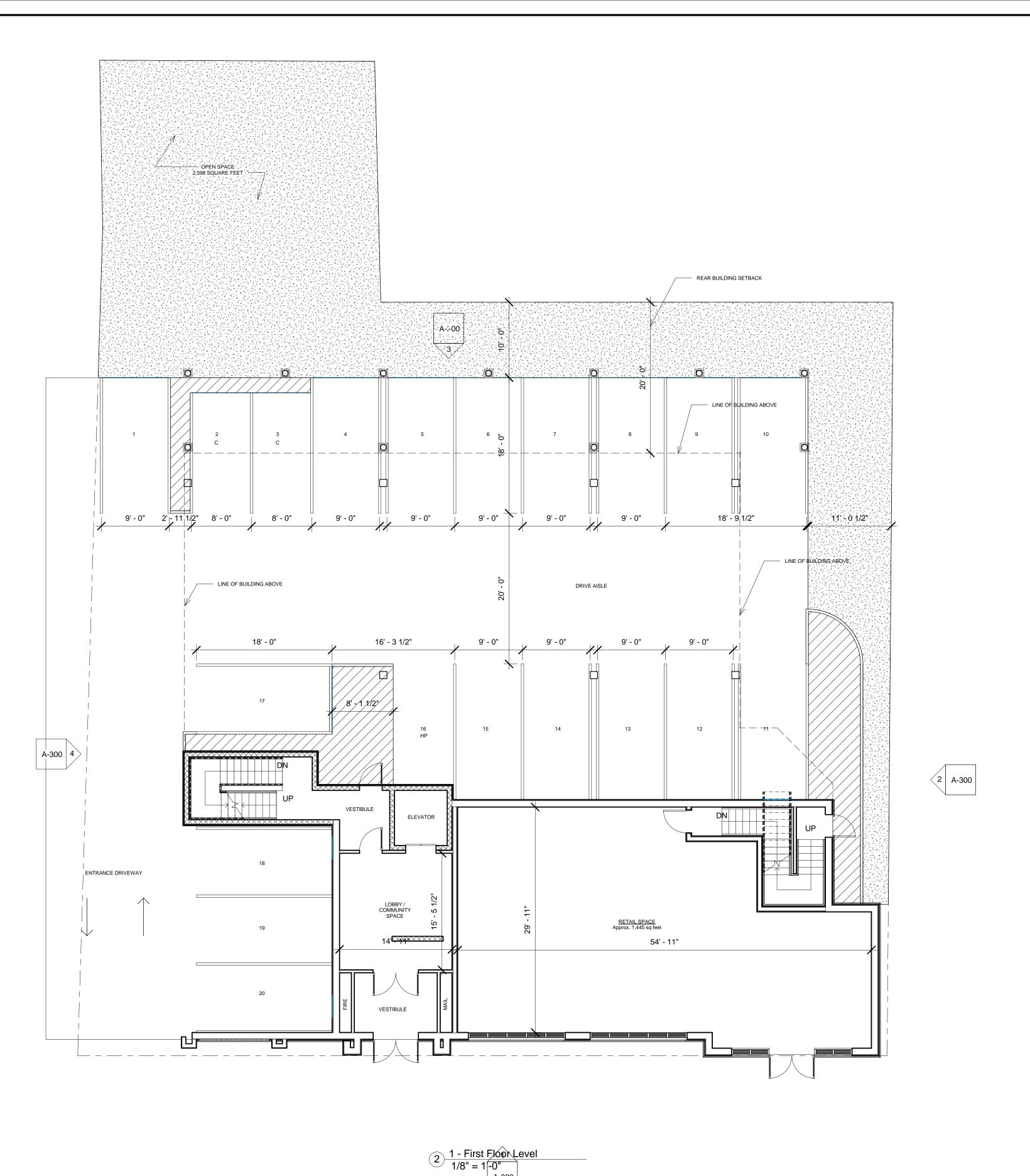
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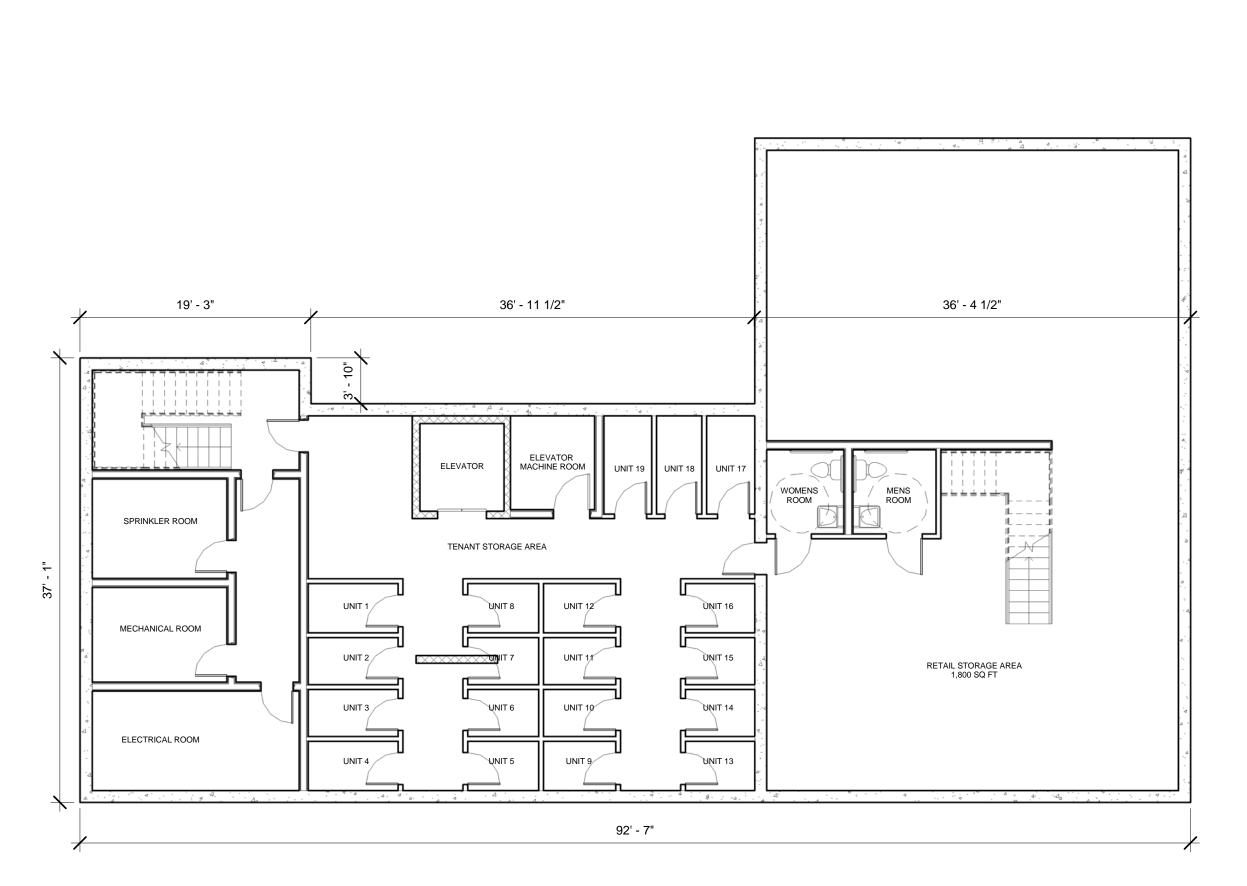
13004 10-24-13 WC Checker 1/8" = 1'-0" Project number Date Drawn by

Checked by Scale REVISIONS Date

Basement & 1st Floor Plan

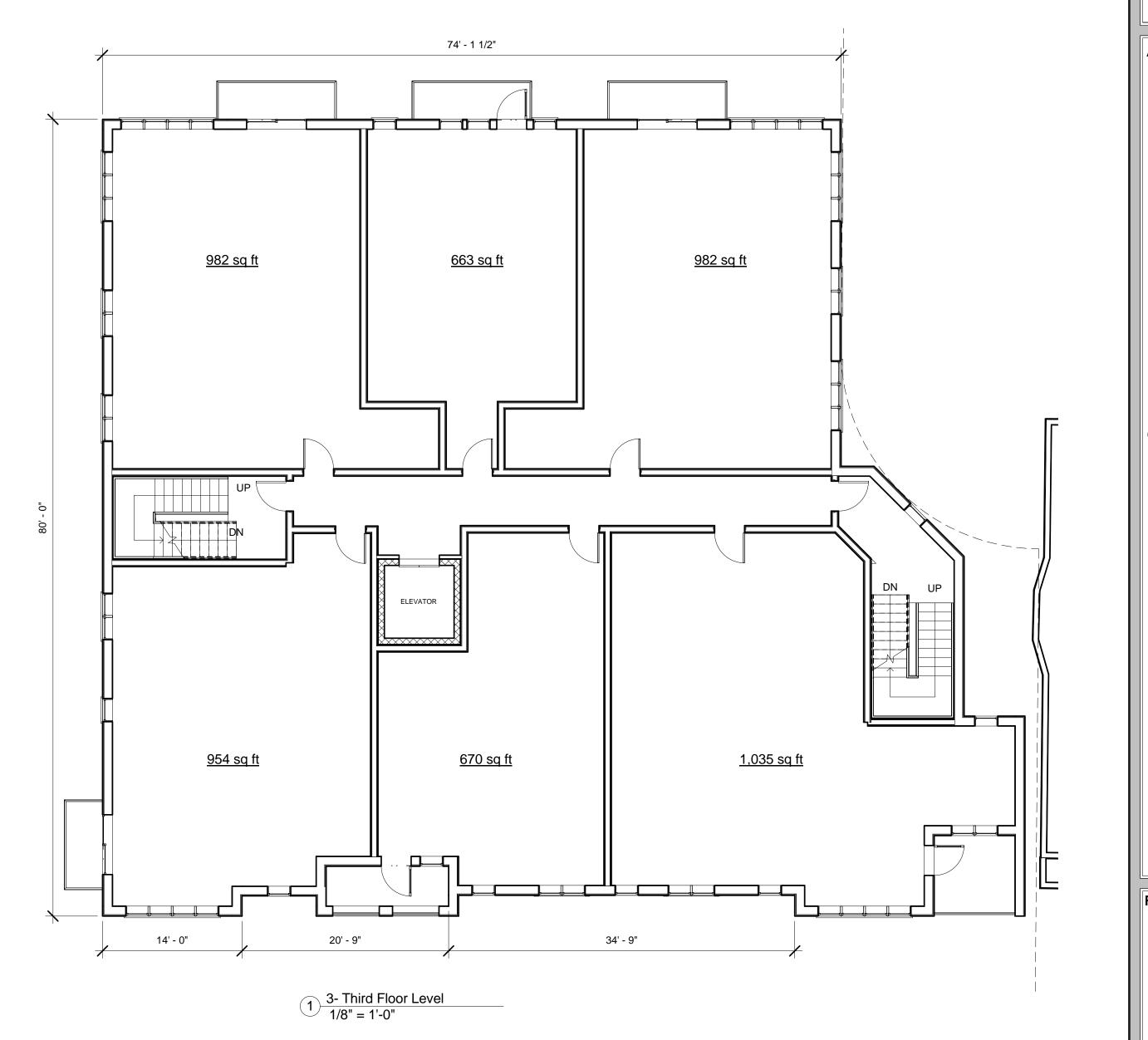
A-100 Broadway St Residences





0 - Basement Level 1/8" = 1'-0"





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CONSULTANTS:

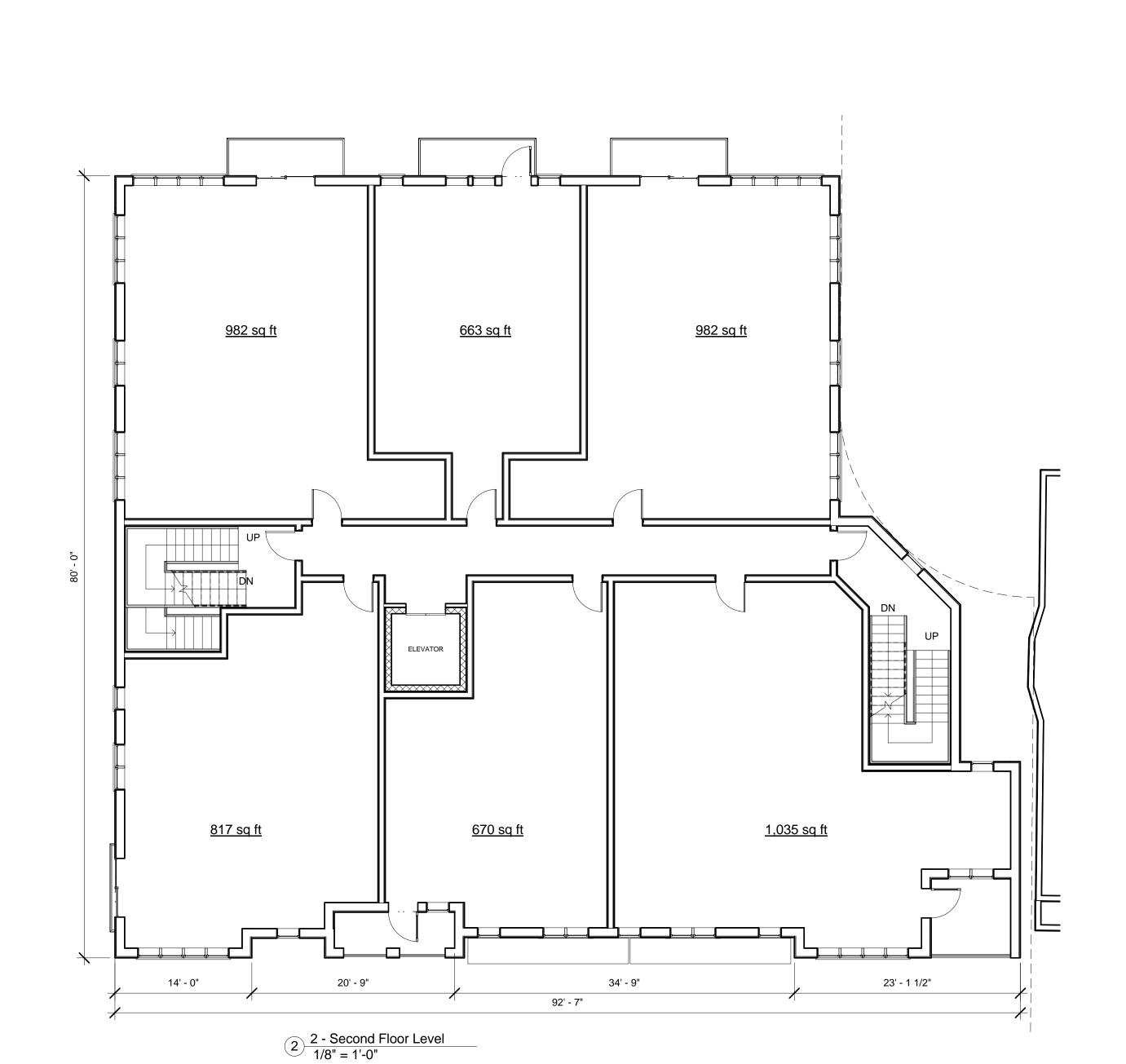
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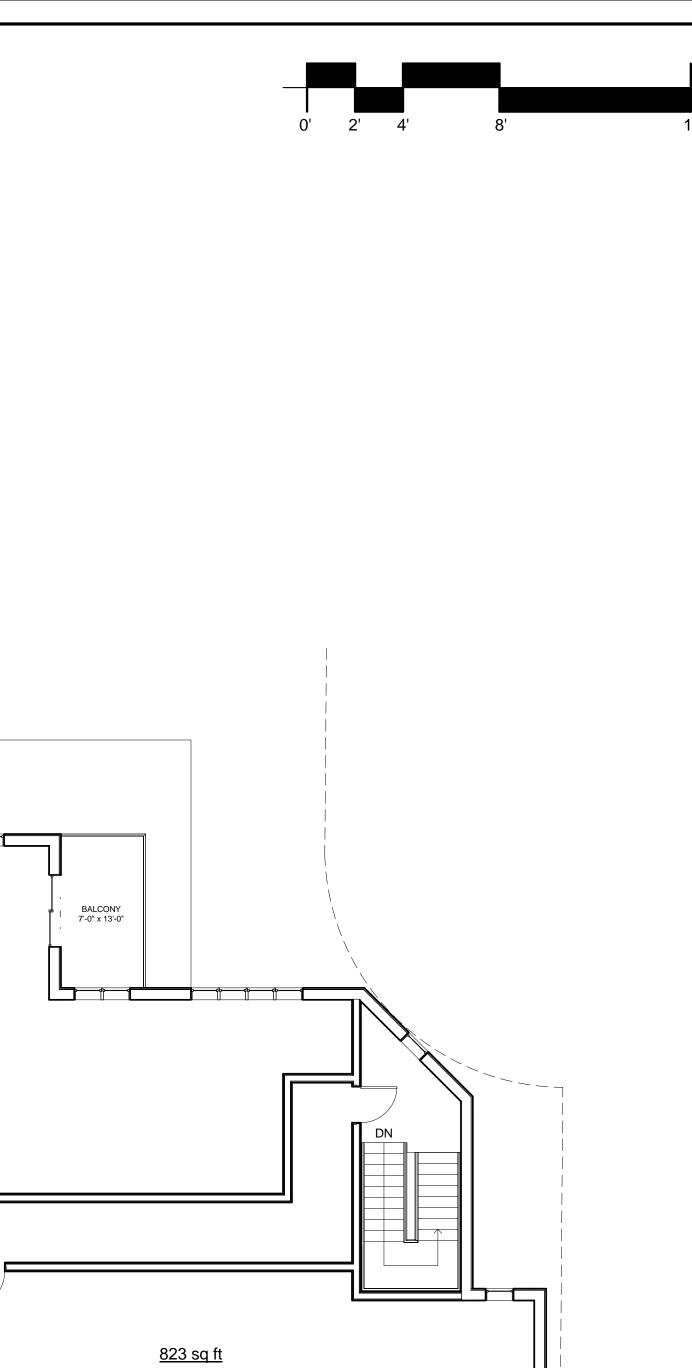


Project number			13004
Date			10-24-13
Drawn by			WC
Checked	by		JSK
Scale		1/8" = 1'-0	
REVISI	ONS		
No.	Description		Date

2nd & 3rd Floor Plans

A-101 Broadway St Residences





23' - 1 1/2"

5 - Fifth Floor Level 1/8" = 1'-0"

92' - 7"

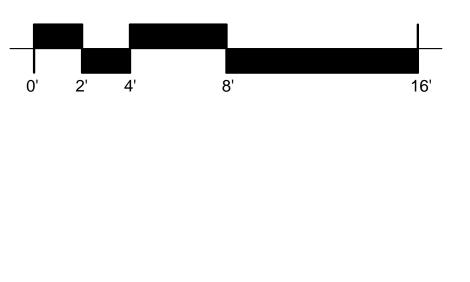
1,347 sq ft

ELEVATOR

954 sq ft

BALCONY 14'-0" x 7'-7"

14' - 0"



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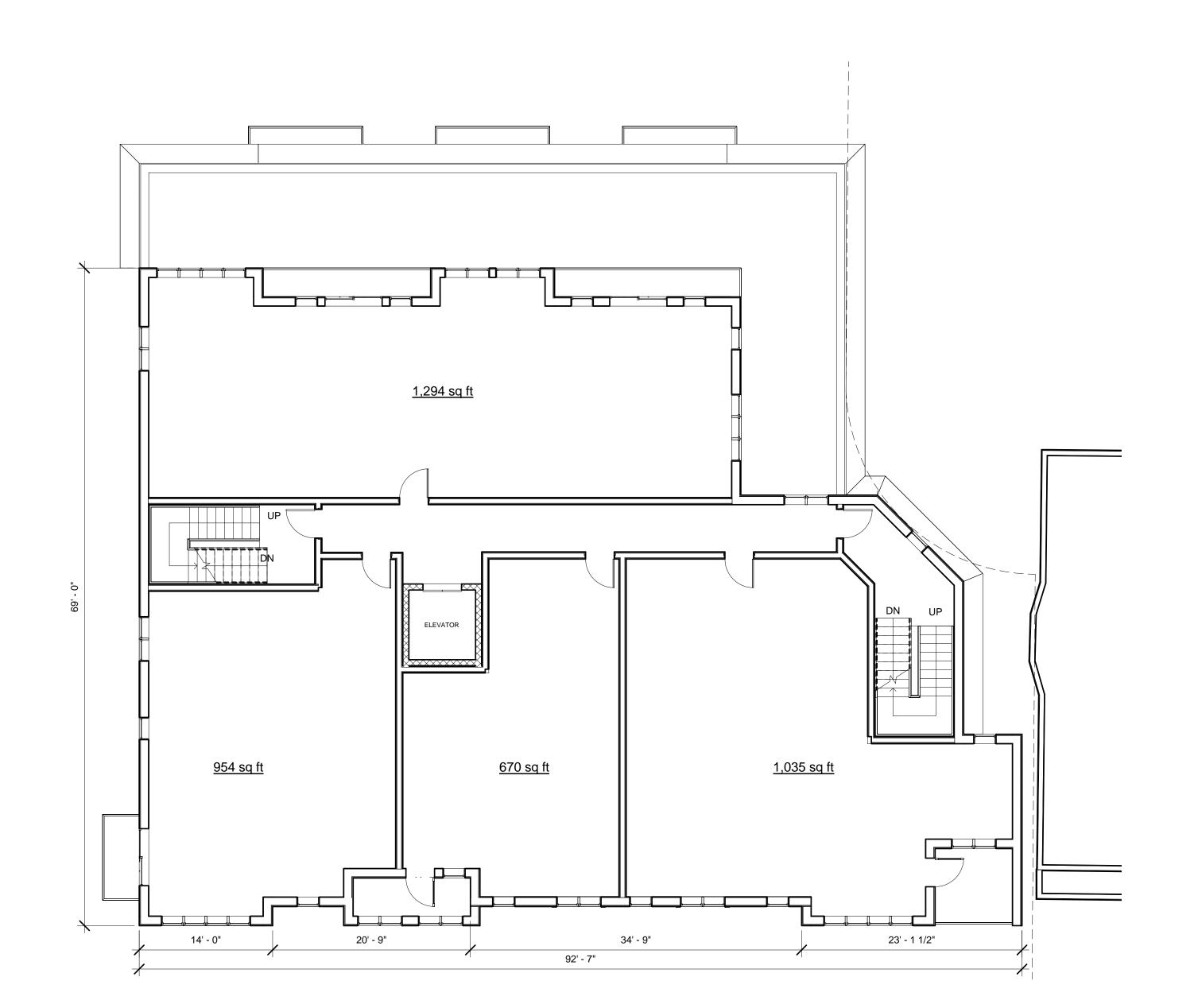
REGISTRATION



Project n	umber	1300
Date		10-24-1
Drawn by		M
Checked	by	M ⁻ JSł
Scale		1/8" = 1'-0
REVISI	ONS	
No.	Description	Date

4th & 5th Floor Plans

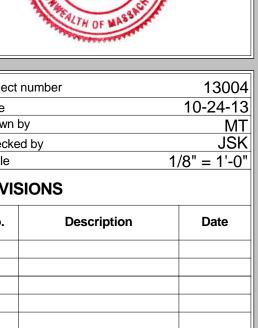
A-102 Broadway St Residences



2 4 - Fourth Floor Level 1/8" = 1'-0"



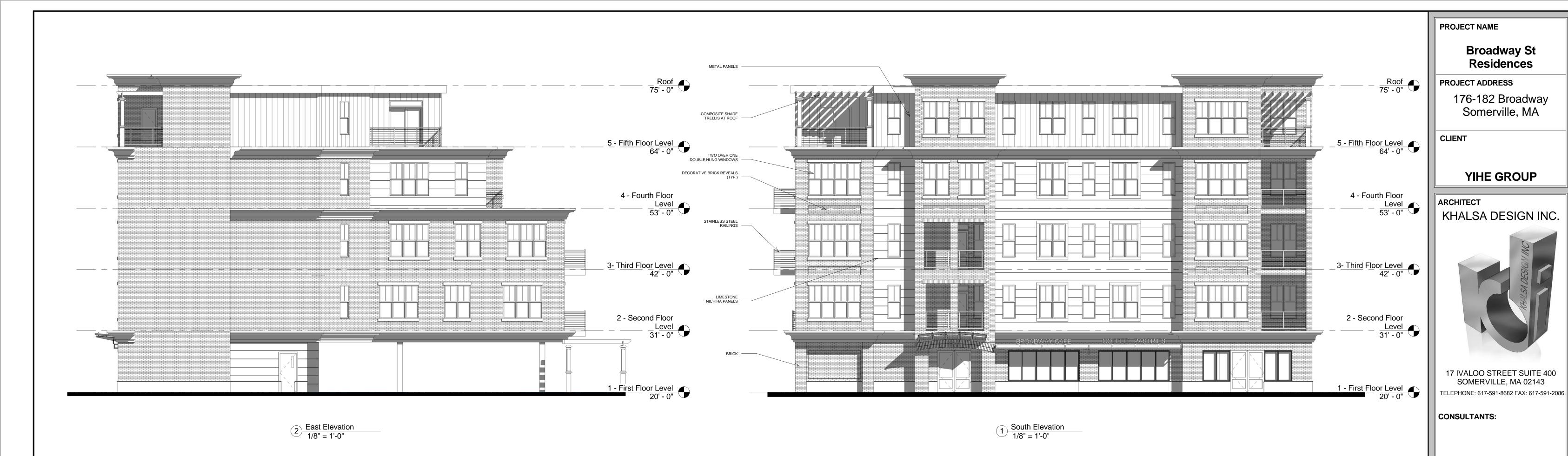




Building Elevations

A-300

Broadway St Residences





West Elevation
1/8" = 1'-0"

_5 - Fifth Floor Level 64' - 0" 4 - Fourth Floor Level 53' - 0" 3- Third Floor Level 42' - 0" 2 - Second Floor Level 31' - 0" 1 - First Floor Level 20' - 0"

3 North Elevation 1/8" = 1'-0"

13004 10-24-13 Author Checker

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4 Rear Parking Lot View



2 Broadway View

3 Front Perspective



1 Broadway Street View

AV Broadway St Residences

Perspectives